

PLANNING STATEMENT

PLANNING PERMISSION  
FOR A REPLACEMENT DWELLING  
(SELF BUILD PROJECT)

BURNTHORN  
No. 2 PECKELTON ROAD  
KIRKBY MALLORY

AVD-870-PRK-PS (-)



**Architectural Vistadesigns Ltd**

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# 1.0 INTRODUCTION & PURPOSE

- 1.1 The Design and access Statement is to support a Full Plans application for a Replacement dwelling including a detached garage, upgrade of existing access and replacement of boundary wall abutting Peckleton Road at Burnthorn No. 2 Peckleton Road, Kirkby Mallory.
- 1.2 The document is prepared on behalf of the applicant in relation to the proposed development and provides information relevant to the site, its immediate environment and its context in relation to its surroundings. It also assesses material planning considerations and local planning policy.

# 2.0 SITE ASSESSMENT & LOCATION

- 2.1 The site accommodates an existing Bungalow on a triangular section of land between Peckleton Road and Shilton Road with the property well screened from both roads by existing hedgerows and trees.
- 2.2 The vehicle and pedestrian access to the site is accessed off Peckleton Road via an existing Gated entrance between a stone boundary wall
- 2.3 The Bungalow is relatively in poor condition and due to the age of the property there would likely be no insulation to the floor and walls, which makes the Bungalow not thermally efficient.
- 2.4 The site offers a high level of parking on the existing hardstanding to the front of the Bungalow and to the rear on the eastern side of the Bungalow is an area of paving and landscaping that extends to the southern side of the dwelling.
- 2.5 The site is generally level, with a drop of 600mm across the site, from the entrance to the furthest part in the southwest corner.
- 2.6 This area of domestic garden curtilage falls outside of the village envelope as shown upon the Site Allocations and Development Management Policies SPD but the vast majority of the site sits within the village envelope.



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Fig 1. Location Plan



Fig 2. Existing Bungalow and site access



Fig 3. View of site from Peckleton Road and Shilton Road



## 3.0 PLANNING POLICY & GUIDANCE

### 3.1 Site Allocations and Development Management Policies DPD (2016):

Policy DM1: Presumption in Favour of Sustainable Development  
Policy DM4: Safeguarding the Countryside and Settlement Separation  
Policy DM6: Enhancement of Biodiversity and Geological Interest  
Policy DM7: Prevention of Pollution and Flooding  
Policy DM10: Development and Design  
Policy DM17: Highways and Transportation  
Policy DM18: Vehicle Parking Standards

### 3.2 National Planning Policy guidance:

National Planning Policy Framework (NPPF) (2021)  
Planning Practice Guidance (PPG) 7.4. Other relevant guidance  
Good Design Guide (2020)  
National Design Guide (2019)  
Leicestershire Highway Design Guide (LHDG) (2022)

3.3 In accordance with the National Planning Policy Guidance (NPPG), the level of detail presented in this statement is proportionate to the scale and complexity of the application.

## 4.0 PLANNING HISTORY

### 4.1 Previous Planning History:

- 00/00024/CONDIT  
Retention of residential use without compliance with condition 3 of planning consent No. 7658/1962 (Agricultural Occupancy restriction and change of use of land to form residential curtilage - Approved
- 21/10097/PREHMO  
Demolition of existing dwelling and erection of up to 3 dwellings – 2 Dwellings approved
- 23/00384/OUT
- Outline Planning Permission for up to two residential dwellings (following demolition of existing bungalow) (Access only) – Approved

## 5.0 PRINCIPLE OF DEVELOPMENT

5.1 The Framework seeks to protect communities from inappropriate development but not to curtail development where it accords with Local Plan policy. Planning policies and decisions should no longer attempt to impose architectural styles however it is proper to seek to promote or reinforce local distinctiveness and reflect the adjacent built form.

5.2 Paragraph 118 of the Framework that states planning policies and decisions should: “promote and support the development of under-utilised land and buildings, especially if this would help to meet identified needs for housing where land supply is constrained and available sites could be used more effectively.”

5.3 The Framework supports the efficient use of land where there are clear social, economic and environmental benefits and that each application should be judged on its individual merits.

5.4 With a sensitive design and the retention of the mature vegetation along the existing boundaries, the development would blend in to the surrounding built environment. As such the final design can accord with paragraph 130 of the Framework that states:

“Permission should be refused for development of poor design that fails to take the opportunities available for improving the character and quality of an area and the way it functions, taking into account any local design standards or style guides in plans or supplementary planning documents. Conversely, where the design of a development accords with clear expectations in plan policies, design should not be used by the decision maker as a valid reason to object to development. Local planning authorities should also seek to ensure that the quality of approved development is not materially diminished between permission and completion, as a result of changes being made to the permitted scheme (for example through changes to approved details such as the materials used).”

5.5 The applicant is seeking to make optimal use of the land by replacing the existing Bungalow with a Bungalow style Dwelling and detached garage on the land, which is more reflective of the site itself at present and in keeping.

#### 5.6 Amount:

The amount of development in terms of site coverage would be for a single storey detached dwelling.

#### 5.7 Layout:

The proposed ground floor layout comprises of a large entrance hall providing hallway access to 2 bedrooms with en-suites, Wc, Snug, kitchen, dining and family space, Utility and boot room.

#### 5.8 Design:

The proposed design of the development is very much in keeping with local character of existing houses in the area and the design should be seen as a much improved design in compared to the existing bungalow on the land.

The kitchen and family area incorporates a vaulted roof with oak beams along with roof windows and further a feature gable structure to promote a good abundance of natural light to the area.

The proposed dwelling would be of traditional architecture form and details as below:

- Main elevations in brick - material tbc
- Tile or slate roof - materials tbc
- Blue brick dpc with a 450mm high brick plinth
- Brick cills to match main house or blue brick chamfered cills to match plinth
- Soldier course bricks over windows where no eaves
- Brick corbel eaves
- Rise and fall brackets supporting black upvc guttering
- Rainwater goods in black upvc
- Doors and windows in upvc - colour / finish tbc
- Half bar windows
- Front Door and Garge doors in a timber finish
- Feature oak porch entrance
- Feature rear gable with glazing to apex



## 5.9 Scale:

The development is in keeping with the scale of existing development of the immediate surroundings.

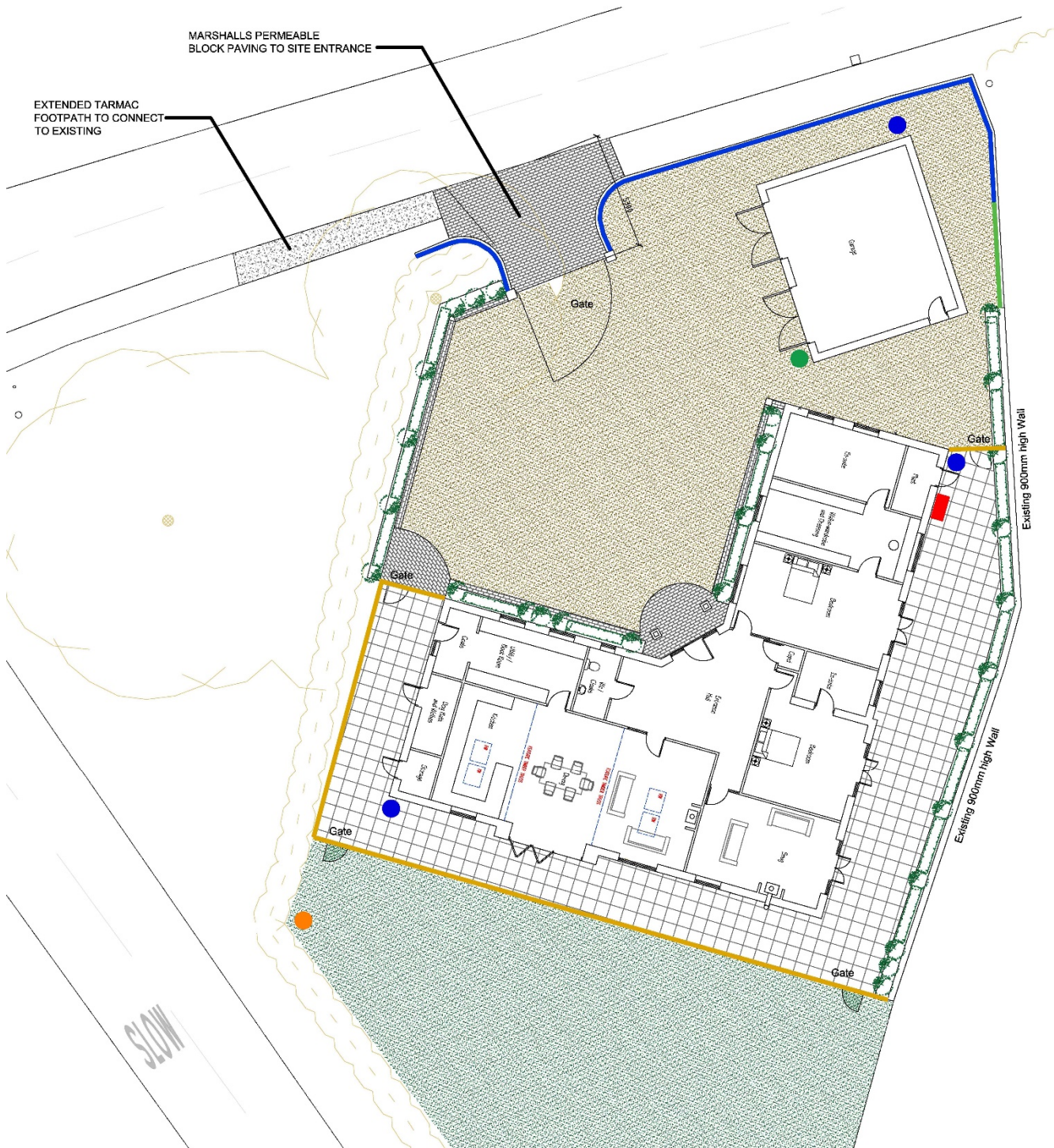


Fig 2. Proposed Site Plan

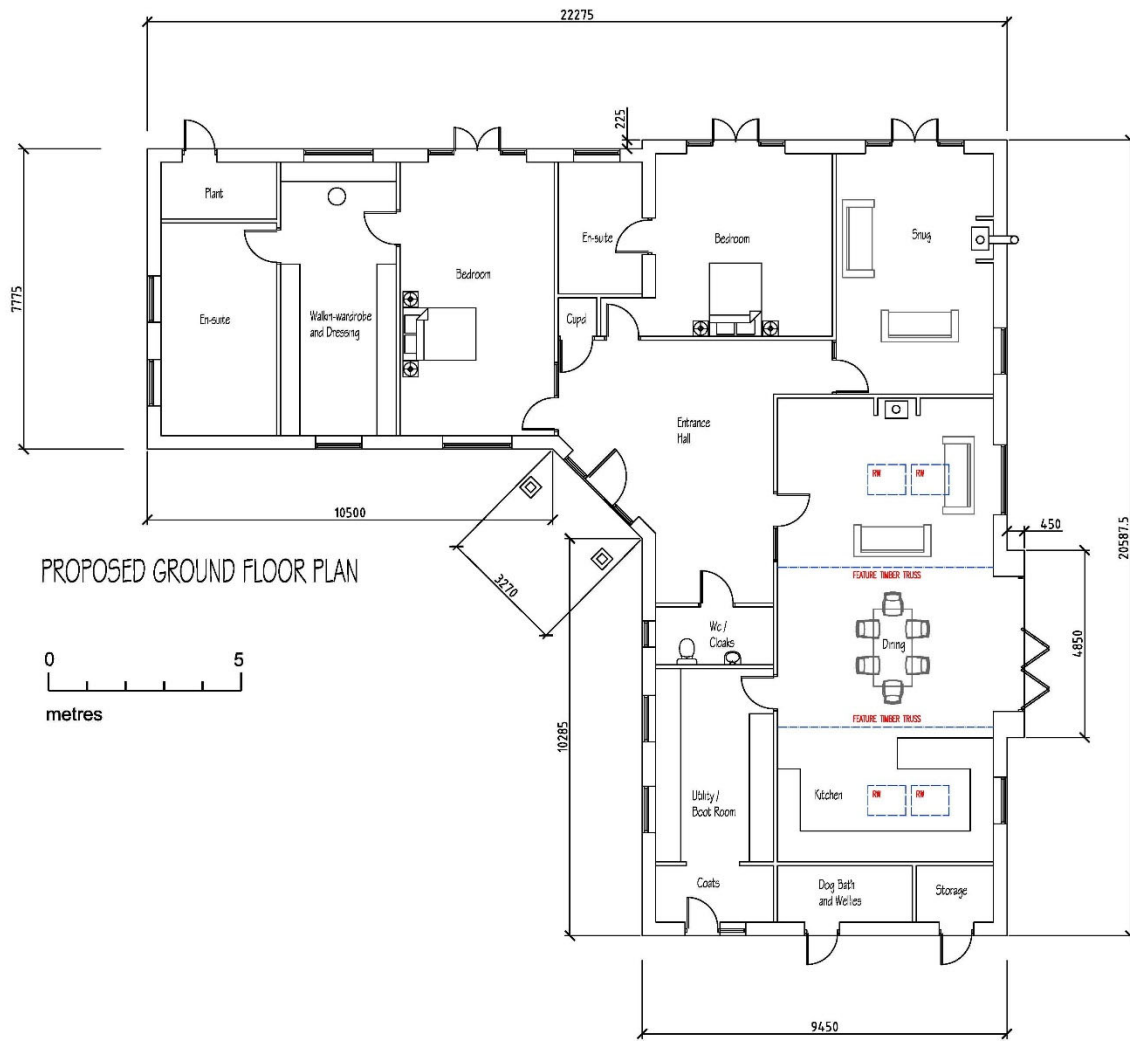


Fig 3. Proposed Floor Plan



## PROPOSED SOUTHERN ELEVATION

Fig 4. Proposed Southern elevation

### 5.10 Landscaping and boundary treatments:

#### Hard Landscaping:

The hardstanding area to the front of the site shall be re-surfaced with Bound gravel and block paving to the edges. To the east, west and south sides of the house there will be paving slab areas to provide amenity areas that can be accessed from the house for the enjoyment of the owners.

#### Soft Landscaping:

The proposals shall incorporate a number of Planting beds surrounding the house and parking areas to incorporate trees and shrubs.

#### Boundaries:

A new 1.575m boundary brick wall with tile capping and access gates shall be erected to replace the existing stone wall. The brick shall be to match the proposed dwelling brick finish and the electric gate shall be made of timber.

## 5.11 Sustainability:

The dwelling shall incorporate sustainability features to reduce the Carbon footprint such as:

1. Air Source Heat Pump
2. Solar Panels (PV's)
3. Electric Vehicle Charging Point
4. Compost Bin
5. Water Butts

## 6.0 ACCES AND PARKING

- 6.1 There is an existing dropped kerb and access to the site via a curved stone Walled entrance with gates. The existing stone boundary wall and gates shall be demolished and a new brick boundary wall incorporating curved walls at the entrance shall be constructed. The access width shall be increased to 4.5m and the access gates set back 5m from the kerb line to provide good distance to not impact on other users of the highway.
- 6.2 In line with the Parking standards, 2 No parking spaces are provided but the site and hardscaping area to the front provides more opportunity for parking on site.
- 6.3 The applicant would look to extend the public footpath along Peckleton Road to connect the site to the network of paths of Kirkby Mallory.
- 6.4 A level access to the front door will be provided to meet Part M of the Building Regulations.
- 6.5 PPG13 and associated guidance is replaced by the NPPF that states:  
  
“Development should only be prevented or refused on highways grounds if there would be an unacceptable impact on highway safety, or the residual cumulative impacts on the road network would be severe.” When considering the above, the modest amount of development and the percentage impacts of this traffic are considered minimal meaning the impact of the development will have effectively ‘nil detriment’ and will not therefore adversely affect the current road network capacity.



## 6.6 Risk of Flooding and Drainage:

The land falls within flood Zone 1 which has low probability of flooding as per below image.

The existing surface water of the site will be designed to connect into the existing drainage system or to a sustainable drainage system to prevent any water run-off from the site.

The foul system is expected to connect into the existing sewer system equally.

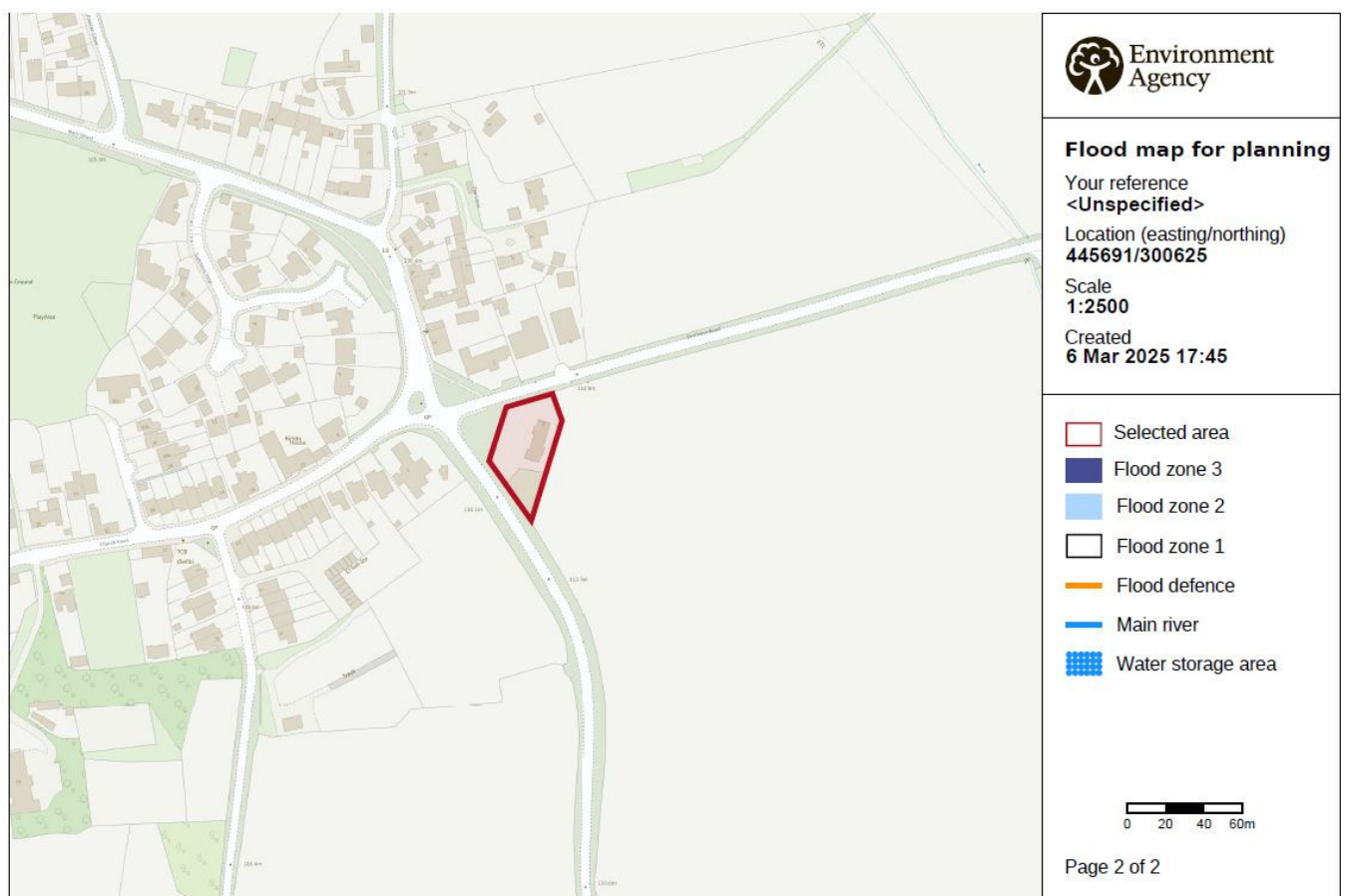


Fig 5. Flood Plan

## 7.0 SOCIAL CONTEXT

- 7.1 Wherever possible and economic to do so, local materials, goods and services will be utilised in undertaking the development.

## 8.0 SELF-BUILD ACT 2015

- 8.1 Custom and self-build housing is legislated for in the Self-build and custom Housebuilding Act 2015 (as amended) (the 2015 Act). The Act places three legal duties on local authorities:
- To hold a register of individuals who are seeking to acquire serviced plots of land for their own custom and self-build home (section 1),
  - To have regard to the register when carrying out its functions relating to planning, housing, land disposal, and regeneration (section 2), and
  - To grant enough planning permissions for custom and self-build housing to meet the demand on the register (section 2A).
- 8.2 The Government's National Planning Policy Framework<sup>5</sup> (NPPF) (2023) and Self-build and Custom Housebuilding Planning Practice Guidance<sup>6</sup> (PPG) are material considerations in the determination of planning applications and set national policy and guidance relating to custom and self-build housing.
- 8.3 Given the location and that there are existing services already established for the site, this would make an ideal Self-Build development project location.

Self-Build and Custom housebuilding Act 2015 (Links):

<https://www.legislation.gov.uk/ukpga/2015/17/contents>

<https://www.gov.uk/guidance/self-build-and-custom-housebuilding>



## 9.0 CONCLUSION

- 9.1 The proposed development will have no adverse impact upon the amenity or character of the area and will be in keeping of the existing area.
- 9.2 Maintaining a good balance of a quality designed house within the landscape and at the same time respecting the natural environment is key.
- 9.3 The site falls within the within an established Settlement and its envisaged the proposal would not be detriment to the local area.
- 9.4 The proposed dwelling would complement to reflect traditional styled properties of the area and contextually appropriate in design and proportion to reflect the character of the area.
- 9.5 Sufficient off-street parking is provided within the curtilage of the site which complies with adopted Policies. The proposals would not detrimentally affect the safe efficient use of the local highway network.
- 9.6 We would seek to work in a positive manner with Hinckley and Bosworth Planning Authority in delivering the best design solutions for the site that reflects the natural landscape and surroundings.
- 9.7 The scheme complies with all relevant Planning Policies of the Hinckley and Bosworth Planning Policies and National Planning Framework. In accordance with presumption in favour of such development established by paragraph 11 of the National Planning Policy Framework, it is therefore respectfully requested that Planning Permission should be formally granted.
- 9.8 We therefore request that Planning Permission should be formally granted.



## Architectural Vistadesigns Ltd

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