



Design and Access Statement

GDA05 - Land at Hill Lane, Markfield, Leicestershire
Revision 1

Introduction



Indicative Aerial View of Development.

This Statement has been prepared by Ophir Architecture Ltd on behalf of Glenalmond Developments to accompany an outline planning application for a development of up to 67 residential dwellings and associated works at Hill Lane, Markfield.

It has been written in accordance with Article 9 of the Town and Country Planning (Development Management Procedure) (England) Order 2015, which requires certain applications to be accompanied by a Design and Access Statement.

Key



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This DAS is divided into 4 sections.

1 - Introduction and Assessment

2 - Illustrative Site Plan & Design

3 - Building for Life

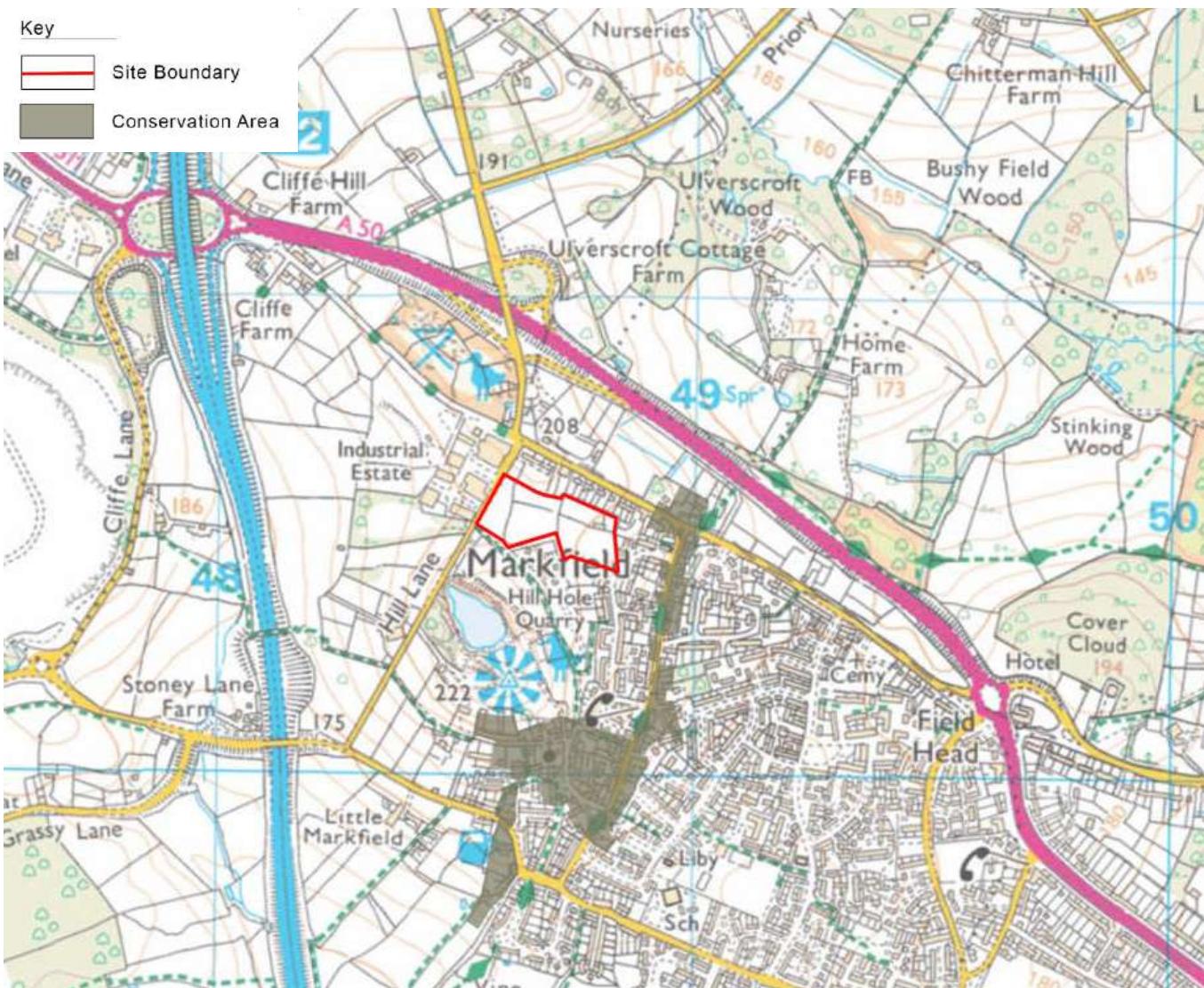
4 - Summary

PROJECT TEAM:

This application has been made on behalf of Glenalmond Developments.

The Design Team are:

Cerda Planning
Ophir Architecture
Align Landscape
RPS Archaeological/Built Heritage Statement
TG Tyler Grange Group
ADC Infrastructure
HUB -Transport Statement
AAC -Air & Acoustic Consultants



Site Location.

1.0 Assessment

1.1 Location/ Site/Context

1.1.1 - The application site sits east of Hill Lane and has a site area of approximately 3 hectares (GIA), on the western edge of Markfield. With existing residential settlements wrapping around the site from the east and round to the north of the site along Ashby Road. To the west of Hill Lane are commercial buildings which sit adjacent to the site.

1.1.2 - Existing dwellings off Upland Drive and Elms Drive are backing onto the site with rear garden boundaries overgrown in places, with trees and vegetation to the north and south of the proposed settlement edge. Consequently, the site is closely fused with the neighbouring settlement, and the surrounding built environment, which in turn creates a well-defined boundary line to the north and south.

1.1.3 - The site in its current form is dissected into parcels with dense vegetation and trees in places. The ground/landscape itself is rough grassland which extends up to the settlement edge of the site. As a result of this, there are no views into the middle of the site from the wider context.

1.1.4 - To the south of the site, is a public right of way footpath, which extends up to and around the foot of Hill Hole Quarry, and links back into Hill Lane and Upland Drive. These pathways create an interconnected array of routes within the area of Markfield, which ensures a well-connected surrounding context to the south of the proposed settlement.

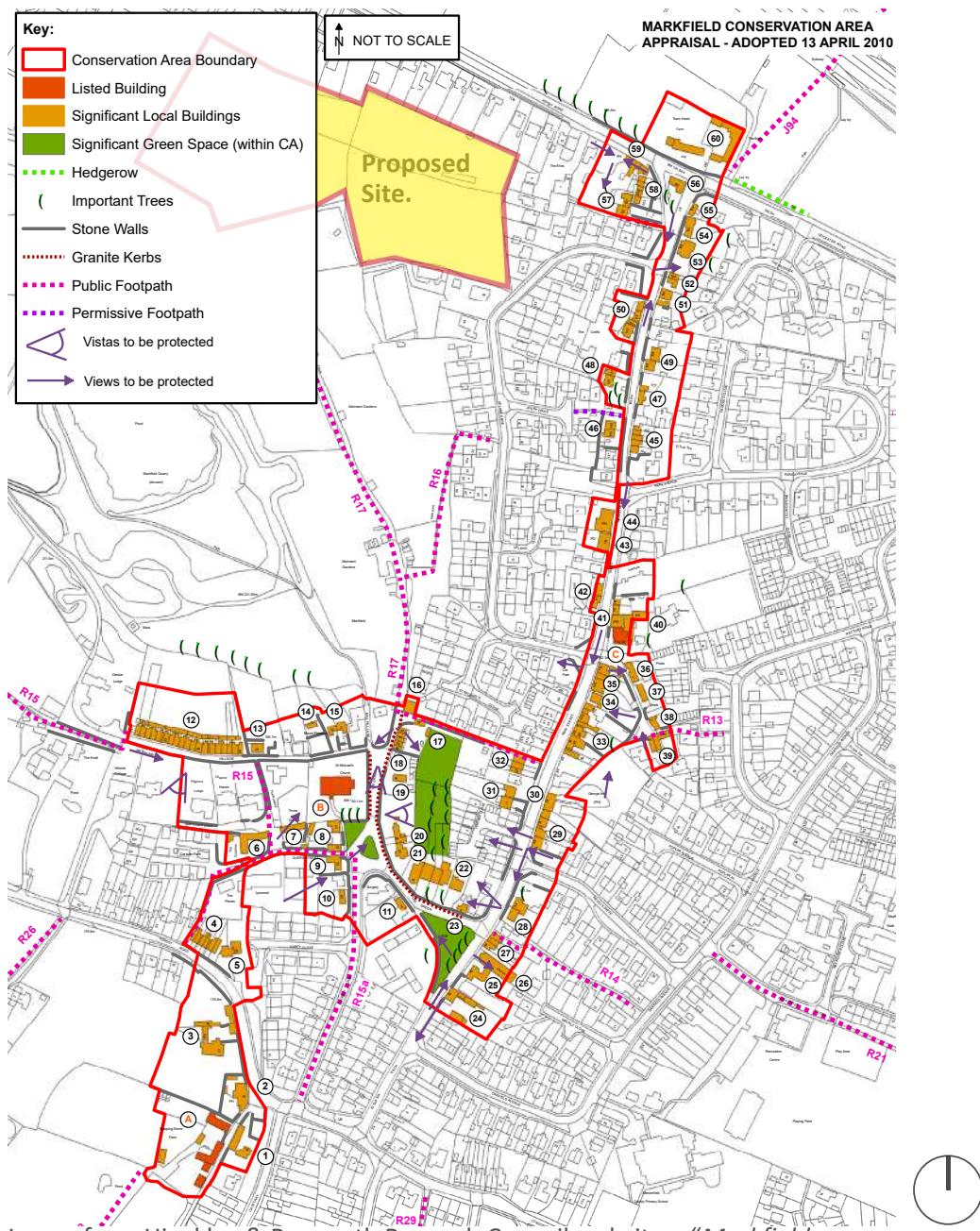


Image from Hinckley & Bosworth Borough Council website – “Markfield Conservation area appraisal – adopted 13 April 2010”. Drawing indicating conservation area boundary and listed buildings.

1.0 Assessment

1.1 Location/ Site/Context

1.1.5- The proposed residential development is outside the conservation area boundary.

1.0 Assessment

1.1 Location/ Site/Context

1.1.6 - The application site is currently defined by a mix of scrub and rough grassland, hedgerows with some mature trees.

1.1.7 - The field to the south of the site is defined by established hedgerows which addresses Hill Lane. The field is grassland and used for agricultural purposes.

1.1.8 - There is an area of land between the public right of way and site boundary to the south of the site, which are allotments for existing residents in the area.

1.1.9 - The site groundline gently slopes down from the rear of the site, with scrub and overgrown grassland making up much of the land area. These are arranged in an irregular pattern by established hedgerows and trees.

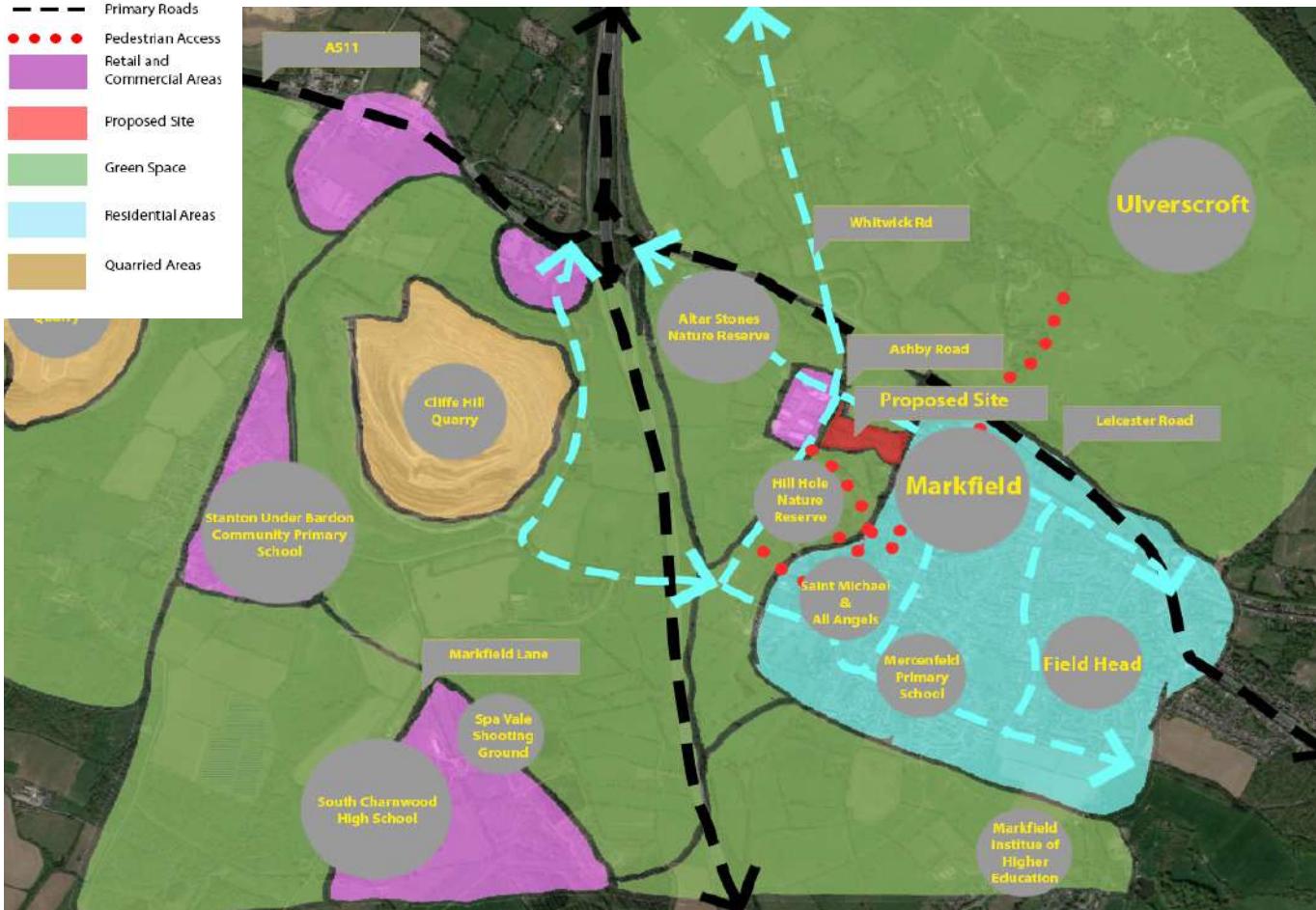
1.1.10 - The boundaries of the site are rectilinear in form, with agricultural fields make up much of the land area and these are arranged in an irregular arrangement, well-defined by hedges and hedgerow trees.

1.1.11 - Markfield is a village situated in the north east area of the Borough in Hinckley and Bosworth district. Markfield is a clustered village, which has gradually extended over time to accommodate workers for the quarries named Cliffe Hill and Hill Hole – these quarries have been closed since the 19th century. Hill Hole Quarry is a nature reserve to the south of the site.



Site in Context.





Social and Economic Context.



Distances to Local Amenities (approximates) to site:

- Bus Stops - c. 350m-400m along Ashby Road
- Markfield Medical Centre – 1.6 km
- Saint Michael & All Angels – 800m
- Markfield Post Office – 1.5km
- Central Co-operative Food – 850m
- Kidspace Day Nursery – 850m
- Queens Head Pub – 650m



1.0 Assessment

1.2 Social and Economic Context

1.2.1 - The village has grown from the historical core, alongside the Main street, and in the vicinity of St Michael's Church, which still maintains its dominant place around the village green. This in turn has formed a landmark from many vantage points in Markfield.

1.2.2 - Markfield has a varied range of dwelling types, from terraced, semi-detached to detached family homes. Buildings are typically one to two storeys, and setback from the pavement with soft landscaping interspersed to soften dwelling thresholds.

1.2.3- Leicester City is southeast of Markfield village, and approximately 12.5 miles from Markfield via the A50, A46 and M1, and is the nearest major city. To the north east is Loughborough town which is approximately 7.7 miles from Markfield, and Coalville town north east is approximately 5 miles from Markfield.

1.2.4 - There are a number of local services and facilities within walking distance from the site, including a number of shops, Primary School, Library and Medical Centre, as well as other local services including recreation grounds. This indicates the village has capacity to facilitate this new residential development, along with serving the existing community, and any new residents of the future.

1.2.5 - There are bus stops within walking distance from the site along Ashby Road. A new footpath will be introduced along Hill Lane, which will form part of the existing carriageway to ensure connectivity to the north of the site.



Constraints & Opportunities Plan

Noise potential	External Views	Drainage Ditch
Dwellings close proximity	Internal Views	Drainage Ditch Margin
Existing Trees/ hedgerows	Topography	

1.0 Assessment

1.3 Constraints & Opportunities

1.3.1 - SUMMARY OF ANALYSIS

Several opportunities and site constraints associated with the proposed development on the site have been identified as illustrated. These have assisted in formulating the design development and eventual proposal.

1.3.2- CONSTRAINTS

- Ground rising from east to west.
- Existing dwellings backing onto the site at the North and Eastern boundaries.
- Existing trees and hedgerows throughout the site.
- Drainage ditch traversing East to West preventing dwelling development within its margins.
- Potential for noise from adjacent industrial buildings.
- No development behind Christopher Court due to site levels, existing trees, and vegetation.

1.3.3 - OPPORTUNITIES

- Make economical use of land via the application of appropriate density.
- Form an extension to the existing residential neighbourhood, meeting local housing requirements.
- Provide amenity spaces and a well connected play area .
- Retain existing trees that are more established.
- Use the existing landscaping assets around and within the boundary of the site to establish a strong setting for homes with a public realm emphasis.
- Introduce sustainable drainage supporting local wildlife and area for local play.



View 1. Hill Lane - Approximately 35m to the west of the Site



View 2. Hill Lane - Approximately 10m to the north of the Site

1.0 Assessment

1.4 Physical Context

1.4.1 - MOVEMENT AND ACCESS

Site access is proposed off Hill Lane, which will lead to all other primary and secondary roads.

1.4.2 - VISUAL ANALYSIS

The site is situated directly adjoining a road corridor and the existing settlement edge of Markfield, with residential built form characterising the village to the north of the site. To the west of the site are existing commercial buildings. Both these elements will have an urbanising impact on the site.

The immediate existing landscape setting is characterised by mature trees and established hedgerow boundaries which creates a compartmentalised landscape setting which the proposed development can benefit from.

1.4.3 - MOVEMENT STRUCTURES

The village has several secondary roads which lead to higher order roads leading to the edge of village to the wider area/further afield.



1.0 Assessment

Key



View 3. Hill Lane - Approximately 90m to the south west of the Site



View 4. Permissive Path, approximately 75m to the south of the Site

1.0 Assessment

Key



View 5. Footpath R17, Approximately 80m to the south of the Site



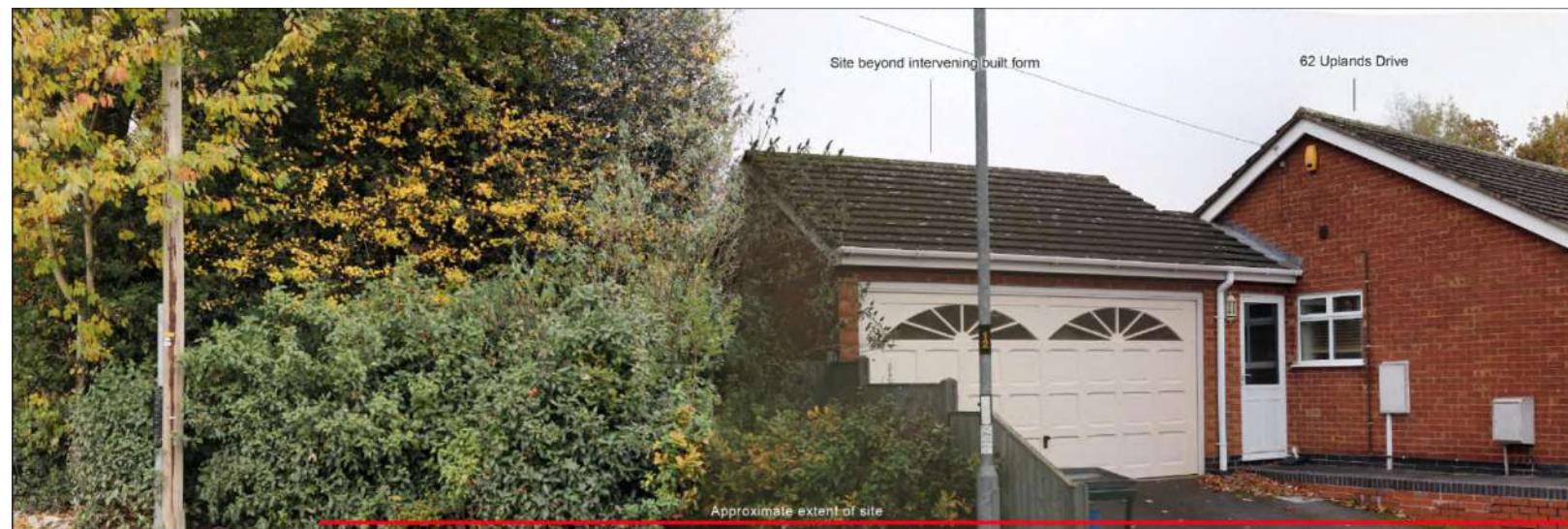
View 6. Footpath R17, Approximately 200m to the south of the Site

1.0 Assessment

Key



View 7. Toposcope at the Hill Hole Quarry, Approximately 285m to the south of the Site



View 8. Uplands Drive, Approximately 10m to the east of the Site

1.0 Assessment

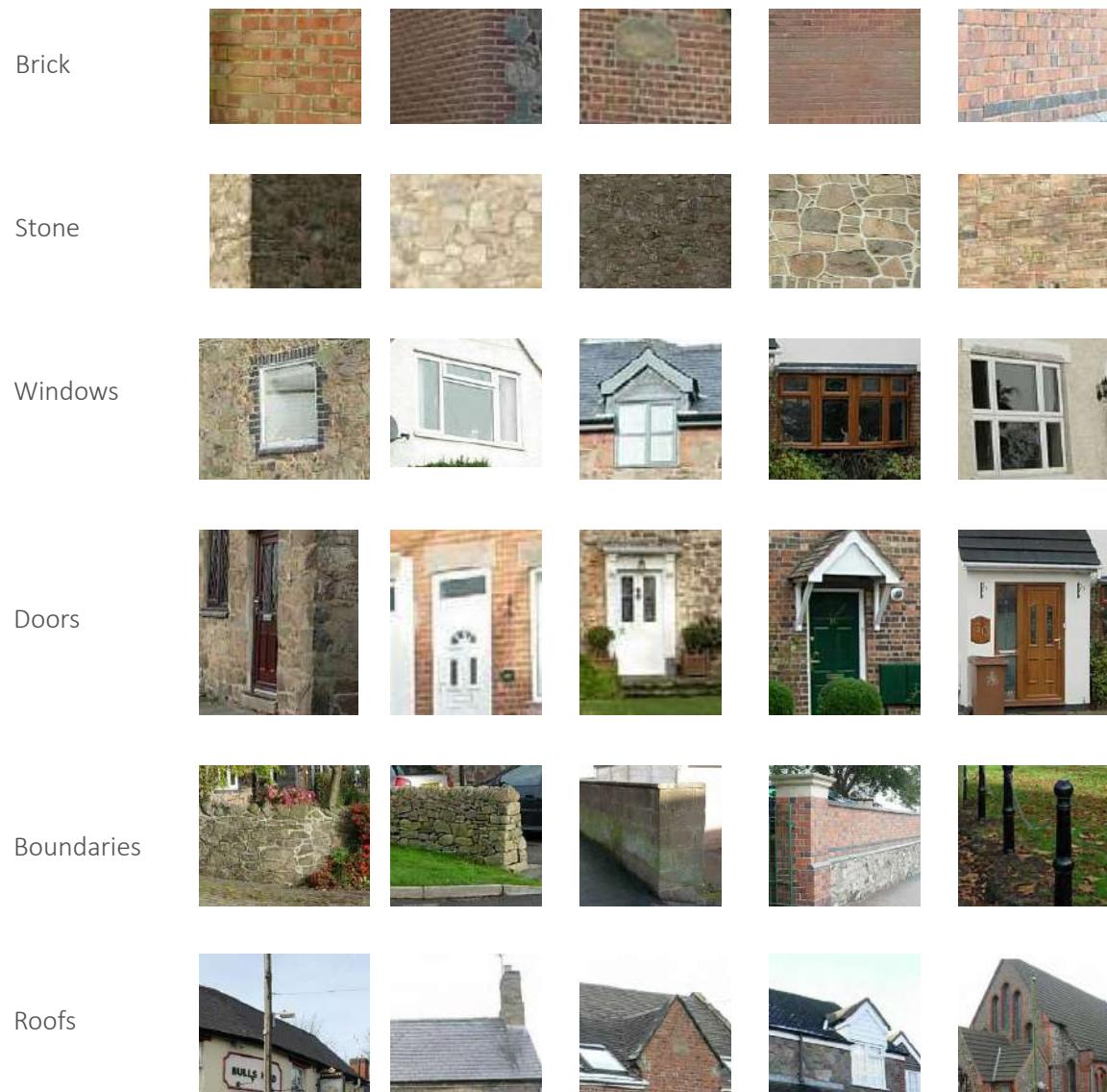
Key



View 9. Ashby Road - Approximately 70m to the north of the Site



View 10. Ashby Road - Approximately 90m to the north of the Site



1.0 Assessment

1.5 Character Assessment

1.5.1 - URBAN GRAIN AND BUILDING PLOTS

Buildings are between one to two storeys with low eaves over window heads and varied roof types, with gable fronted dwellings with steeply pitched roofs. Facades are brick or stone and render usually masking stone facades. Many properties front on to the edge of the pavement or have small front gardens with boundary treatments such as stone walls which add to the predominance of stone in the street scene.

1.5.2 - BOUNDARY TREATMENTS

There are two prominent boundary treatments which are prevalent in the area throughout the existing settlement, these are stone walls and hedges, varying in height throughout the area of Markfield.

1.5.3 - FENESTRATION

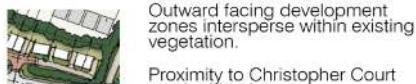
Predominately, doors and windows are symmetrical and have varying window style grill patterns.

1.5.4 - DOORS/GATEWAYS

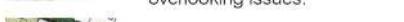
Doors are centrally located in the elevation of the building with canopies varying in sizes.

1.5.5 - MATERIALS

The materials in the streetscape are dominated by either red brick or stone or have a mix of both. Some buildings are rendered or painted properties which provide variation.



Outward facing development zones intersperse within existing vegetation.



Proximity to Christopher Court overlooking issues.



Development looks onto rear of existing properties possible security issues.



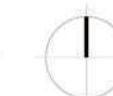
Inward looking development houses back onto southern boundary, create a hard edge to the development.



Mature trees on boundary will be affected by location of development.

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Indicative Site Layout, by others

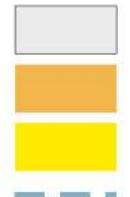
1.0 Assessment

1.6 Previous Pre-App Feedback

1.6.1 - Prior to Glenalmond Developments interest in the site a Pre application enquiry was made to the Local Authority (Ref 20/10068/PRE) and whilst feedback was extensive relating to planning policy, there was limited feedback in relation to the proposed design. With this in mind our observations on the layout design is as follows:

- Dwellings backing onto Christopher Court providing an overlooking issue.
- Outward-facing development zones intersperse within vegetation.
- Development looks into the rear of existing properties, potential security issues.
- Inward-looking development dwellings back onto the southern boundary, creating a hard edge to the development.
- Mature trees on the boundary may be affected by the location of the development.
- Scheme appears overdeveloped when considering the existing landscape context.

1.6.2 - In consideration of the design comments within this initial feasibility layout, the new proposal will look achieve an improved harmony with the surrounding context and existing vegetation on site.



Outward facing development, screened by existing vegetation. Whilst providing active frontages.

Look to retain established existing vegetation to reflect local landscape character of irregular fields.

Linear development to back onto existing properties whilst retaining existing hedgerow.

Block frontage elevations



Create a permeable building line to Hill lane screened with new hedgerow planting.



Balancing pond to lowest part of site buffering with existing trees on southern boundary.



Leap centrally located & overlooked.



Diagram 1 - Block Structure.



1.0 Assessment

1.7 Layout Design Evolution

1.7.1 - From analysis of the previous pre - application layout, together with the constraints and opportunities, the following points aim to respond to the site and address design related concerns.

(1) The site entrance off Hill Lane has been relocated to a more centralised location on the west boundary of the site. Thus, splitting the block structure, and removing the long linear road.

- A more informal block structure to the north of the access road, which is more responsive to the site context and setting of the site.

- Whilst to the south of the access road, a more well-defined block structure, which is also 'shaped' by the site constraints.

(2) A strong perimeter block structure, with dwellings backing onto one another, creates a well-defined urban block within the middle of the site.

- Dwellings have been removed from the north next to Christopher Court, due to existing vegetation and level constraints and in consideration of overlooking of existing amenity to these bungalows.

(3) SuDS Drainage attenuation introduced at the lowest part of the site along with the suggested location for LEAP, which will be looked over by front of buildings. The open space aims to provide a variety of activities and functions for this community.



1.0 Assessment

1.8 Initial Submission Layout

1.8.1 - The diagram on the left illustrates the site layout that was initially submitted for Planning which follows on from the constraints and initial pre application feedback.

The layout proposed 72no. dwellings with a mixed tenure of affordable and open market.



Initial submission Site Layout

1.0 Assessment

1.9 Revised Layout & Feedback



Revised submission Site Layout.



The diagram on the left illustrates the amended site layout that was then issued during the initial submission to address various comments. The main changes were the alteration in the main street layout at the East and repositioning of dwellings to allow retention of existing Green Infrastructure, notably the East-West hedgerow.

This layout was then refused at Planning and a further pre-application was undertaken to address the reasons for refusal.

Based on this amended layout, the feedback on several key matters in relation to urban design were as follows:

- Address terminating vista stops throughout the site and remove parking from these views, allow dwellings to form focal points.
- Suggested relocation of the LEAP to a more centrally accessible part of the site enhancing its setting and location.
- Reduce the amount of frontage parking at the east of the site.
- Review the layout of the 6 no. dwellings at the northeastern corner to correspond better with the proposed layout and surrounding pattern of development, reduce the proliferation of frontage car parking.

A more thorough review of these comments together with a revisiting of the site constraints, led the layout to its final revised version.

2.0 Proposed Illustrative Layout

2.1 Site Layout

2.1.1 - LAYOUT DESIGN

The primary factor influencing the site layout re-plan is the landscape constraints and the opportunities it presents together with the pre application feedback.

The inclusion retention of East-West and North-South hedgerows, avoidance of development into the drainage ditch, retention of trees where possible and the updated reshaped SuDS features, all helped to shape the current street pattern.

Dwelling orientations were amended at vista stops and at the North East corner to allow for a more integrated solution to address pre application comments.

Parking arrangements have been reconfigured to include additional tandem spaces where possible, reducing the dominance of parking to the street.

Blocks were adjusted to improve main road access, assisting with refuse collection requirements.

The public open space was re-evaluated to strengthen the relationship between residents and the surrounding landscape, with the move of the LEAP supporting a more cohesive and community-focused layout.



Illustrative (current submission) Site Layout.



2.0 Proposed Illustrative Layout

2.2 Design Principles

2.2.1 - Several design principles have been formed that will establish a guide for the Reserved Matters application.

The proposed principles are as follows:



1. Entrance Corridor - Provide strong and well-defined building lines which respond to Hill Lane road.



2. Informal Space - Dwellings are shaped around existing site characteristics to ensure the preservation of landscape features.



3. Key Nodal Points - 'Place making', and legibility within the site, with the introduction of a nodal point highlighting a transitional zone from the existing built form to the proposed development entrance road, into a lower category of road.



4. Green Corridor - Preserving the East -West green corridor into the heart of the proposed built form.



5. Building Lines - Dwellings are setback in places to create consistent building lines and provide natural overlooking.



6. Site Termination Point - Dwellings are oriented to form a natural extension to the existing settlement pattern and provide overlooking of the SuDS features.

2.2.2 - The description of the six principles has considered a range of factors relating to the site itself and the sites layout objectives. These comprise of the following:

- Establishing a layout which responds to the existing built environment.
- Generating a site layout which is formed around established field boundaries.
- Creating a strong connection between the existing site settlement through the application of good urban design principles.

2.2.3 - These design principles aid in legibility and placemaking which will evolve through the design process.

2.0 Proposed Illustrative Layout

2.3 Massing

2.3.1 - USE AND AMOUNT

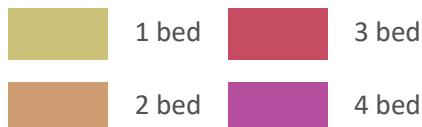
- The residential area proposes 67no. dwellings.
- The development achieves an average net density of approximately 38 dwellings per hectare (dph). "*Policy 16 requires all residential development to meet a minimum net density, in the rural area the requirement is at least 30 dwellings per hectare, density of the site should be confirmed at formal application stage.*" - Refer to Hinckley & Bosworth Borough Council Document Ref; 20/10068/PREMAJ, 11 June 2020 for further information if required.
- A range of dwelling types and sizes from smaller 1 bed units to 4 bed dwellings are proposed. The mixture of roof types, from pitched to gable fronts will ensure a varied roof scape, adding a level of interest to the streetscape. All dwellings are two storey. The scale of development provides the opportunity to incorporate a mix of housing styles in this location. All dwellings are proposed to be to National Described Space Standards as set out by National Government Guidelines.

2.3.2 - TENURE

- In line with Policy 15, 40% affordable housing has been provided within the scheme, which include shared ownership and rented dwellings.
- Further details dealing with final appearance and positioning will be submitted at Reserved Matters planning stage, via consultation with the Planning Authority (LPA).



Housing Mix Diagram



Key



2.0 Proposed Illustrative Layout

2.4 Access & Movement

2.4.1 - VEHICLE AND PEDESTRIAN MOVEMENT

A single vehicular access point is formed at Hill Lane into the site, with additional pedestrian access forming part of the new carriageway to assist in dispersing traffic.

Establishment of a clear movement network of road hierarchy delivers an easily identifiable way which balances the street as a space, along with its function as a movement corridor through the site.

The proposed street pattern allows for natural traffic calming measures that aim to reduce vehicle speeds.

The placement / orientation of dwellings overlook the public realm to achieve good surveillance over the highway, whilst also making the most of the retained landscaping to allow the proposal to maximise the sites potential.

2.4.2 - PARKING

Dwellings will be served with on-plot parking generally located to the side and in the formation of front court parking or tandem parking which will be to the side of the dwelling.

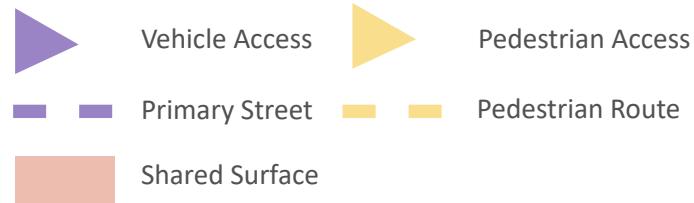
The distance from the car parking space to the home has been kept to a minimum. Cycling parking numbers should be provided following the appropriate standards set out by the LPA or in line with government guidance standards.



Access & Movement Plan



Key



2.0 Proposed Illustrative Layout

2.5 Crime Prevention

2.5.1 - SURVEILLANCE

The scheme is designed to ensure back gardens are well enclosed and front of buildings are well defined. Where boundary treatments front onto the public realm, they should be robust, and within the curtilage of gardens, timber fences should be adequate. Dwellings are oriented to promote maximum surveillance of streets.

The buildings to the north east of the site will be arranged to form groups of semi-detached and terraces of buildings therefore creating a good level of enclosure within the street scape.

The proposed development minimises risk of conflict between traffic and pedestrians, by using private drives, to slow down vehicles and create a safe natural barrier between public and private realm.

The use of tandem parking creates a larger open side court that prevents the creation of small dark alley ways between dwellings.

Garden fencing is to be provided throughout the site for privacy and clear boundary distribution, with a particular focus on the materiality.

The location of LEAP has been sensitively sited and its location offers natural surveillance over the area by the houses, an improved connection with the development. The indicative paths create an area that can be designed for a LEAP and the area outside the LEAP can be an informal play area.



Surveillance Diagram



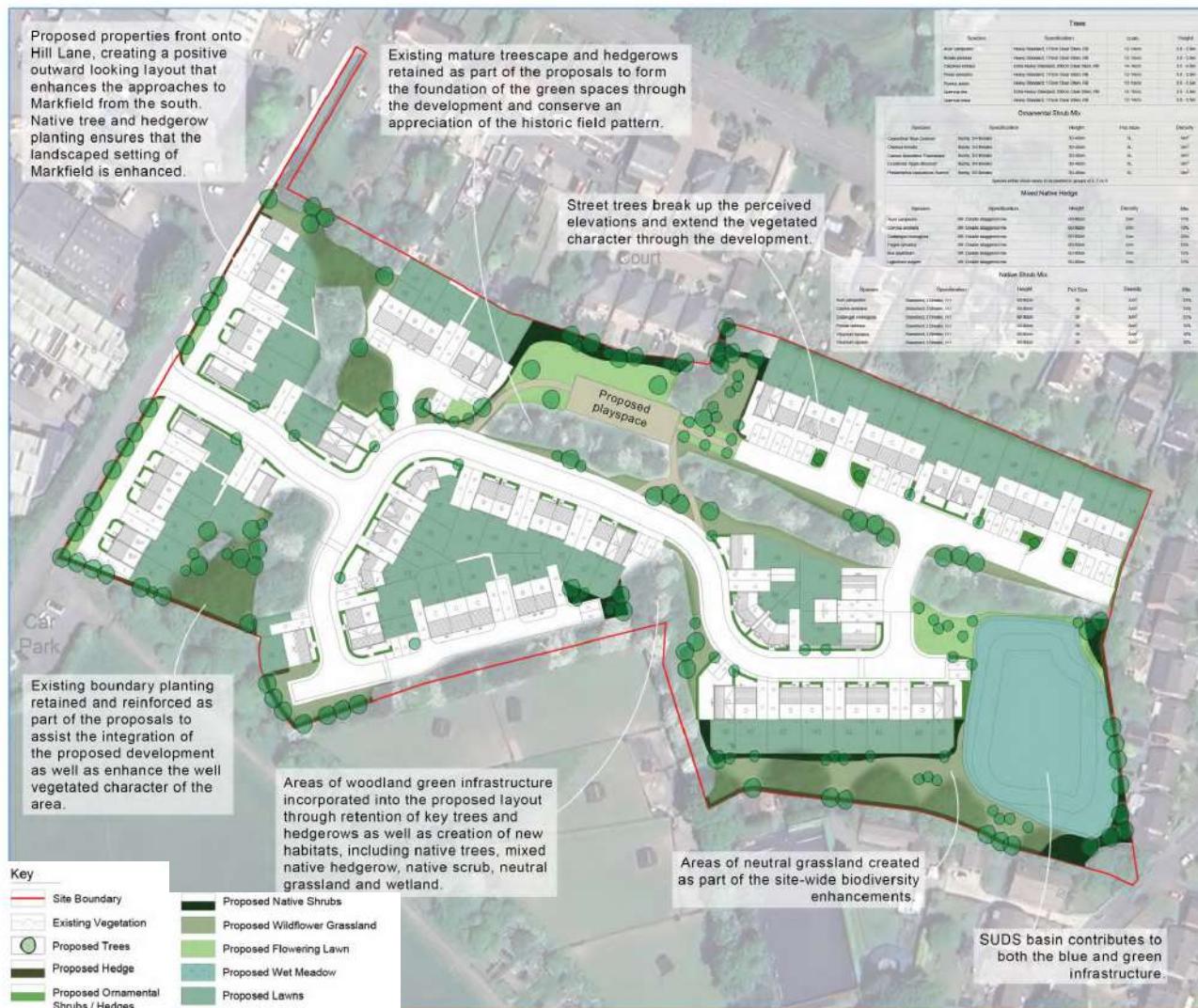
2.0 Proposed Illustrative Layout

2.6 Landscape Strategy

2.6.1 - RESPONSE TO CONTEXT

The landscape strategy aims to strengthen the existing green infrastructure within the site and complements the layout. Additional hedgerows, buffer planting at site boundaries, street trees, new species rich planting help to assimilate the soft landscaping proposal into the site.

Public Open Space (POS) has been generated through working within the constraints of the site. The attenuation basin has been located to the east of the site, where the road network terminates. For further details please refer to the submission landscape strategy drawings.



Landscape Strategy Plan - Drawing No 9 Pr-1013.LSP.005 A1 Sheet

2.0 Proposed Illustrative Layout

2.6 Landscape Strategy

2.6.2 - NATURAL FOREST STRATEGY

As the site lies within the National Forest Core Strategy Policy 21, the following is applicable: "*This Policy states that proposals that contribute to the delivery of the National Forest Strategy will be supported provided that; the proposal accords with a number of other requirements including the proposals impact upon the wider countryside and its setting with the Forest.*" Refer to Hinckley & Bosworth Borough Council Document Ref; 20/10068/PREMAJ, 11 June 2020 for further information if required.

With reference to national forest requirement guidance, the accessible natural green and woodland area on site equates to 28% of existing landscaping within the site, surpassing the minimum 20% requirement.



National Forest Related
Green Infrastructure

2.0 Proposed Illustrative Layout

2.6 Landscape Strategy

2.6.3 - OPEN SPACE PROVISION

In compliance with Policy 19 of the Core Strategy which identifies standards for open space awithin the borough, the following POS amenity space zones are illustrated indicatively:

- Casual/ Informal Play Space
- Childrens Play Space (LEAP)
- Accessible Natural green space

For further details please refer to the submission drawings.



 Casual/Informal Play Spaces

 Accessible Natural Green Space

 Children's Play Space

2.0 Proposed Illustrative Layout

2.7 Sustainability

2.7.1 - SUSTAINABLE BUILDING TECHNIQUES

Sustainable design, energy efficiency, and the reduction of carbon emissions is an important part of the design. It is critical that at all stages of design and construction, the proposal takes account of the use of sustainable materials, construction methods, the need for energy conservation and recycling.

Embodied carbon, environmental targets and benchmarks are important to set targets against environmental conditions. For example daylighting, climate, shading, precipitation, landscape, ecology, risk of flooding and topography are all considered during the design process.

Sustainable measures the scheme proposes:

Conservation of natural resources on site such as hedgerows and trees;
Planting to encourage biodiversity;
Use of water conservation by using Sustainable Drainage Systems (SuDs) such as the attenuation basin;

Further suggested sustainable measures to adopt:

A fabric first approach to sustainable construction.
The use of air source heat pumps (ASHP) instead of gas boilers, offering a significant reduction in carbon emissions utilising a renewable, natural source of heat – air.

Incorporating renewable technology such as Solar PV panels.

Integrated EV chargers to support electric vehicles.



Aerial view from Hill Lane.

2.0 Proposed Illustrative Layout

2.8 Appearance - Street Scenes

2.8.1 - STREET SCENES

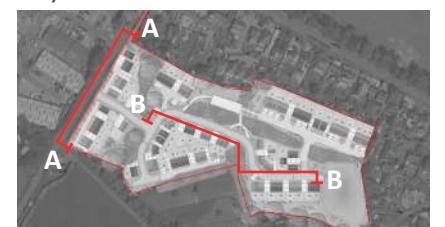


Street Scenes A-A



Street Scenes B-B

Key



2.0 Proposed Illustrative Layout

2.8 Appearance

2.8.2 - SKETCH VISUAL 1



Indicative visualisation of Entrance Corridor.

Key



2.0 Proposed Illustrative Layout

2.8 Appearance

2.8.3 - SKETCH VISUAL 2



Indicative visualisation of Informal Space.

Key



2.0 Proposed Illustrative Layout

2.8 Appearance

2.8.4 - SKETCH VISUAL 3



Indicative Visualisation of Green Corridor.

Key





Indicative Visualisation of Site Termination Point.

Key



INTEGRATED NEIGHBOURHOODS		The design proposal incorporates:	3.0 Building for Life
1	<p>Natural connections Create permeable, green corridors to better integrate both wildlife and people across the surrounding landscapes.</p>	<ul style="list-style-type: none"> The street pattern provides clear and direct routes through the site and encourage low vehicle speeds. Street widths and shared surfacing all work together to create a pleasant low traffic environment around people's homes whilst still allowing pedestrian and cycle movement, meeting policy guidance. The proposal uses continuous streets with public access along the edges of the development. The existing East-West and the South boundary hedgerow is retained within the public realm, safeguarding their future retention and management. 	<h3>3.1 Building for Life 12 Assessment</h3> <p>Building For a Healthy Life (2020 edition) is a design guide used for creating places that are better for people and nature, using the same 12 principles originally devised in Building For Life 12. The following assessment of the proposal sets out the process which has been considered during the development. The criteria and the proposals response are listed below to summarise the qualities of the development.</p>
2	<p>Walking, cycling and public transport Routes should be attractive, safe, and enjoyable, and which discourage private vehicle usage</p>	<ul style="list-style-type: none"> Pedestrian connectivity is proposed into and across the site Material considerations on street typologies aim to assist vulnerable user groups. Generous areas of planting for BNG enhancement will also provide a soft landscaped buffer to the development for natural urban integration. 	
3	<p>Facilities and Services Places that offer social, leisure and recreational opportunities a short walk or cycle from their homes</p>	<ul style="list-style-type: none"> The site benefits from Ashby Road which is only 320ft from the access to the development. Ashby Road has multiple public transport connections. Around the periphery of the site, at exposed junctions and corners, dwellings propose active façades to promote natural surveillance of the surroundings through the use of glazing (dual aspect or corners). The pedestrian footpath network provides opportunities for connections across the site together with green open spaces such as the formal green space with a LEAP encourages positive social interaction. The addition of attenuation with the street design enhances the quality of the built environment and bio-diversity. 	

INTEGRATED NEIGHBOURHOODS		<i>The design proposal incorporates:</i>
4	<p><i>Homes for everyone</i> A range of homes that meet local community needs.</p>	<ul style="list-style-type: none"> • A wide range of dwelling types are proposed from 1- 4 bed house types. • Affordable dwellings are proposed to be distributed throughout the development and house type designs/ features are to be tenure blind.
5	<p><i>Making the most of what's there</i> Understand and respond</p>	<ul style="list-style-type: none"> • Most existing trees are being retained at the boundaries with the large tree line in the centre of the site. • Dwellings at the site edges are oriented to look outwards and are sensitively scaled to respond to existing dwellings beyond the site. • The existing East-West and the South boundary hedgerow of the site is retained and naturally provides a break in the built form, supporting a pedestrian route through. • The site's natural contours are taken advantage of with the lowest point being used as the location for SuDS basins. • Development set backs are used to create healthy and natural green edges to the development, softening the impact of the built proposal against the site's tree lined boundaries. Dwellings are oriented to look outwards avoiding buffers between existing and new dwelling back gardens.
6	<p><i>A Memorable Character</i> Create places that are memorable.</p>	<ul style="list-style-type: none"> • With a variety of design concepts explored the proposal responds to the constraints and opportunities of the site such as retaining large amounts of the woodlands on the boundary and the strip going through the site. • The local character area has been considered to ensure it reflects the traditional style typology of the area • Varied details such as street widths, landscaping, dwelling typologies, dwelling relationships to surroundings, groupings of buildings and architectural details including materials are to be further considered at the Reserved Matters stage.
7	<p><i>Well defined streets and spaces</i> Compliment the locality of the area (from integrated landscape design to distinctive architectural detailing).</p>	<ul style="list-style-type: none"> • All dwellings are oriented to facilitate overlooking of streets and provide active frontages with front doors and habitable room windows facing streets and public open spaces, helping to create a secure community of homes. • Streets are defined by typologies which detail widths, street trees, groupings of buildings, gaps between them to create a sense of rhythm and place. • Building lines are straight where feasible and change where streets present opportunities to address corners or changes in direction. • Wider plots take advantage of narrower depth plots whilst dual aspect plots take advantage of corners. • Where streets terminate at junctions, vista stops are designed to aid with place making and destination.

INTEGRATED NEIGHBOURHOODS		<i>The design proposal incorporates:</i>
8	<p>Easy to find your way around Use legible features to help people find their way around a place.</p>	<ul style="list-style-type: none"> The proposal incorporates a relaxed street pattern which prevents an over engineered appearance dominating the scene. With the SuD's and LEAP areas being at the centre and end of the site, this allows for legible natural features to for residents to way find around the site.
9	<p>Healthy streets Build streets not roads (attractive spaces for social interaction and activity, upon transport and movement).</p>	<ul style="list-style-type: none"> Street trees, new and retained hedgerows, SuDs basins and dwelling front gardens all combine to create a rich visual and audible sensory experience for users helping to create a sense of place. A network of connected footpaths across the site provide good connectivity and together with features such as the LEAP and SuDS, create opportunities for social interaction. The arrangement of building forms, overlooking, landscape features, change in street alignment and surfacing combine to create characters conducive to help slowing down vehicle speeds naturally.
10	<p>Cycle and car parking Provide diverse vehicle parking solutions, but design even more creative and accessible cycle parking alternatives.</p>	<ul style="list-style-type: none"> All dwellings are to have access to secure lockable cycle sheds in rear gardens or use of garages. Allocated parking spaces on street are organised to allow soft landscaping integration with allocations close to related dwellings. Features such as retention of hedgerows allow screening of cars from streets where applicable. A range of parking solutions are incorporated across the site such as frontage, tandem, off plot.
11	<p>Green and blue infrastructure Natural networks should help structure the whole masterplan, to enrich sensory experience and biodiversity</p>	<ul style="list-style-type: none"> The design incorporates natural open space and generous provision of formal green space for the benefit of the local community. Design features such as development set backs, landscape buffers, retention of boundary trees and hedgerow and new green corridors are part of the layout and design. Sustainable drainage features such as retention of large woodlands and SuDs attenuation basins effectively manage water and provide a habitat network for residents to interact and connect with water.
12	<p>Back of pavement, front of home Define the private realm, providing residents with confidence in their ownership which encourages plot personalisation.</p>	<ul style="list-style-type: none"> Public and private realm are clearly defined throughout the design proposals with the use of appropriate hard surfacing and landscape strategies. Further details on boundary treatments will need to be considered at the Reserved Matters stage.

4.0 Summary

4.0.1 - This Outline application details a residential scheme to support 67no. dwellings off Hill Lane, Markfield, helping to provide choice of housing and public amenity spaces for the community. The sites close location to transport networks promotes its connectivity.

4.0.2 - The illustrative site plan is formed around understanding and responding to the site constraints and opportunities, to ensure the appropriate density, scale and massing of buildings is proposed. Existing features such as the trees, hedgerows and drainage issues have been identified and incorporated into the design. A mix of 1, 2, 3 and 4 bed housetypes have been combined to form semi detached, detached and terraced block arrangements providing variation. Orientation of dwellings enable overlooking of public routes and take advantage of open views where possible. The proposed simple linear street pattern, consistent development lines and landscape features encourages easy way finding for users.

4.0.3 - The site can support a well considered designed residential development, complemented by improvements to landscaping. In line with Local Government Guidance and National Policy, this application will ensure that a high-quality design is achieved, whilst the recognition of the constraints and opportunities will ensure that the proposed development, is sensitively integrated on the site and into the surrounding landscape.

4.0.4 - Successful urban design is reliant upon reaching an appropriate relationship between community needs, development principles, development form and a positive response to local conditions. The principles which have been developed to guide the design have been derived from the site evaluation in conjunction with the delivery of a high-quality development.