

STANDARD ABBREVIATIONS

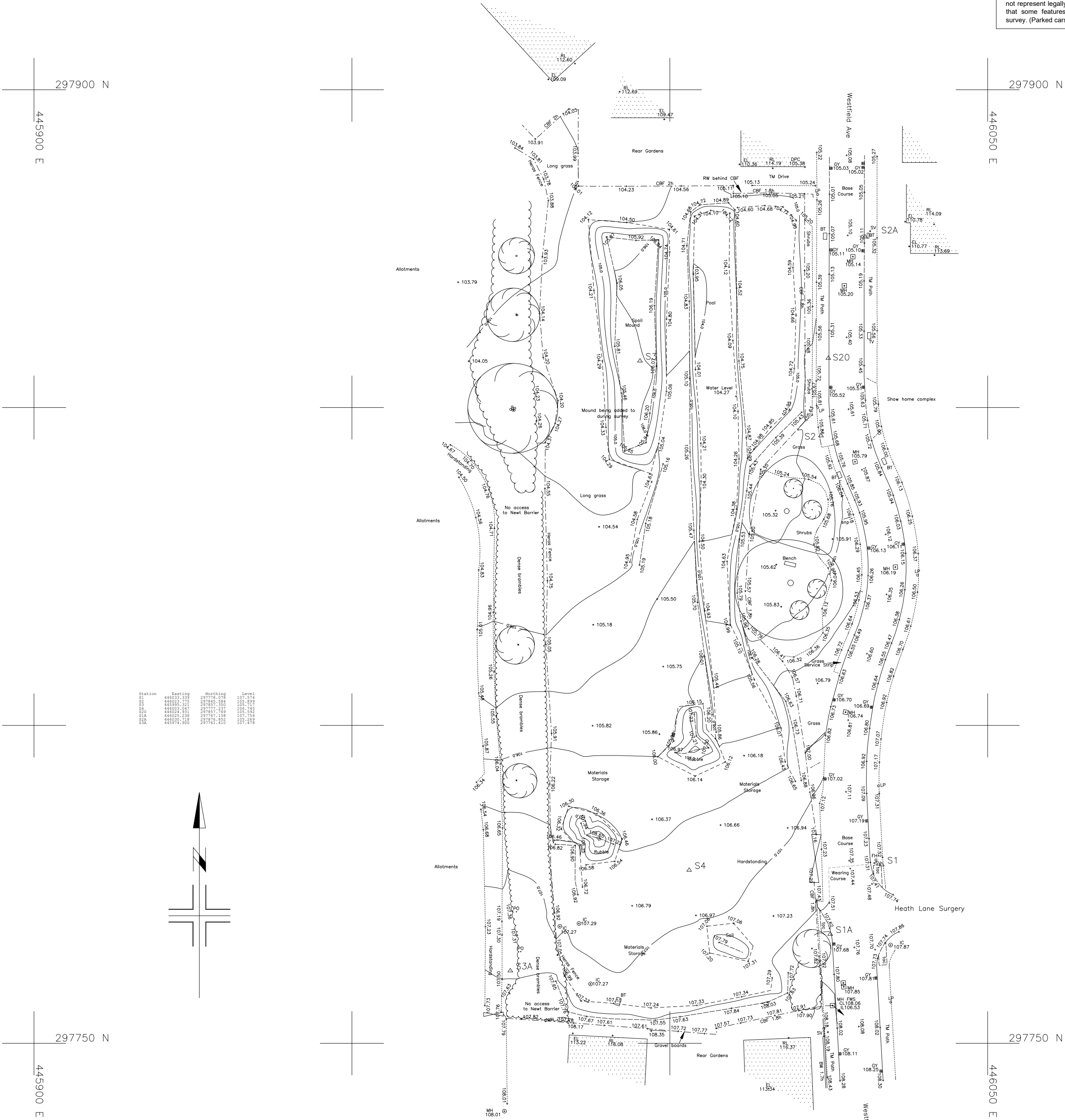
AV	AIR VALVE	PGM	PERMANENT GROUND MARKER
BOL	BOLLARD	PIF	POST & RAIL FENCE
BS	BUS STOP	PS	PAVING SLABS
BT	BRITISH TELECOM IC	PNF	POST & WIRE FENCE
BW	BRICK WALL	RE	RODDING EYE
BWF	BARBED WIRE FENCE	RL	RIDGE LEVEL
CATV	CABLE TV IC	RP	REFLECTOR POST
CBF	CLOSE BOARDED FENCE	RS	ROAD SIGN
CL	COVER LEVEL	RSJ	ROLLED STEEL JOIST
CLF	CHAIN LINK FENCE	RW	RETAINING WALL
CM	CABLE MARKER	RWP	RAIN WATER PIPE
CONC.	CONCRETE	SAP	SAPLING
CP	CATCH PIT	SFL	SOFFIT LEVEL
CPF	CONCRETE PANEL FENCE	SIL	SILT LEVEL
CSL	COVER SLAB LEVEL	SMH	SURFACE MANHOLE
(diap)	DILAPIDATED	SMP	STREET NAME PLATE
(dis)	DISUSED	SP	SION POST
DK	DROP KERB	ST	STAY(S)
DRC	DAMP PROOF COURSE	STCH.	STANCHION
DSW	DWARF STONE WALL	SV	STOP VALVE
ELEC.	ELECTRICITY	SWP	SOIL & VENT PIPE
EP	ELECTRICITY POLE	SW	STONE WALL
FB	FLOWER BED	TCB	TELEPHONE CALL BOX
FFL	FINISHED FLOOR LEVEL	TEL	TELEPHONE
FL	FLOOR LEVEL	TL	TRAFFIC LIGHTS
FNH	FULL MAN HOLE	TM	TARMAC
FP	FLAG POLE	TP	TELEGRAPH POLE
GV	GULLY	TR	TRANSFORMER
GAS	GAS VALVE	U/S	UNDERSIDE
HW	HEAD WALL	UFL	UNABLE TO LIFT
IC	INSPECTION COVER	VP	VENT PIPE
IL	INVERT LEVEL	WM	WATER METER
IRF	IRON RAIL FENCE	WO	WASH OUT
KO	KERB OUTLET	WT	WATER TAP
LET	LETTER BOX	WV	WATER VALVE
LP	LAMP POST	F/CR	FLOOR TO CROWN HEIGHT
MH	MAN HOLE	F/H	FLOOR TO HEAD HEIGHT
OH	OVERHEAD	F/S	FLOOR TO SILL HEIGHT
PO	POST/POLE	F/S	FLOOR TO SPRINGING
PF	PANEL FENCE	S/CR	SILL TO CROWN HEIGHT
CB	CONTROL BOX	S/H	SILL TO HEAD HEIGHT
CR	CAT ROOF LEVEL	S/SP	SILL TO SPRINGING
PEG/MARKER		Tac	TACTILE PAVING
+12.34	SPOT LEVEL	STM 2	SURVEY STATION
		—1:1.50—	CONTOUR VALUE

The Contractor is to check and verify all building and site dimensions, levels and sewer invert levels at connection points before work starts. The Contractor is to comply in all respects with current Building Legislation, British Standard Specifications, Building Regulations, Construction (Design & Management) Regulations, Party Wall Act, etc. whether or not specifically stated on this drawing. This drawing must be read with and checked against any structural, geotechnical or other specialist documentation provided. This drawing is not intended to show details of foundations, ground conditions or ground contaminants. Each area of ground relied upon to support any structure depicted (including drainage) must be investigated by the Contractor. A suitable method of foundation should be provided allowing for existing ground conditions. Any suspect or fluid ground, contaminants on or within the ground, should be further investigated by a suitable expert. Any earthwork constructions shown indicate typical slopes for guidance only & should be further investigated by a suitable expert.

Where existing trees are to be retained they should be subject to a full Arboricultural inspection for safety. All trees are to be planted so as to ensure they are a minimum of 5 metres from buildings and 3 metres from drainage and services. A suitable method of foundation is to be provided to accommodate the proposed tree planting. Geoff Perry Associates Limited do not accept any responsibility for any losses (financial or otherwise) to any Client or third party arising out of the Clients (be it Developer or Contractor but not limited thereto) non-compliance with afore mentioned provisos.

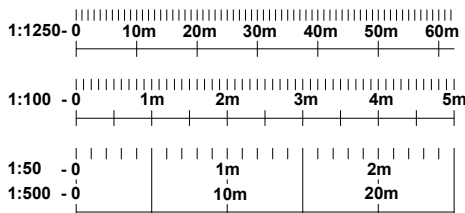
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This survey has been orientated to the Ordnance Survey (O.S.) National Grid (OSGB36) via a Global Position System (GPS) and the O.S. Active Network (OS Net). A true OSGB36 coordinate has been established near to the site centre via a transformation using the OSTN15 & OSGM15 transformation models. The survey has been correlated to this point and a further one or more OSGB36 points established to create a true O.S. bearing for angle orientation. No scale factor has been applied to the survey therefore the coordinates shown are arbitrary & not true O.S. Coordinates which have a scale factor applied. Please refer to Survey Station Table to enable establishment of the on-site grid. Physical features present in the vicinity of boundaries may not represent legally conveyed ownership. It should be noted that some features may have been obscured at time of survey. (Parked cars ECT.)



Revisions :

Scale Check :



Client: Avant Homes (West Mids)

Project: Material Storage Area, Westfield Ave. Earl Shilton

Title: Topographical Survey

Date: Sep 23

Scale: 1:500 @ A2

Drawn by: icp

Checked by: rm

Job No.

Drg No.

Rev.

S219

1497



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